

SMITH BUILDING - FIRST FLOOR RESTROOM RENOVATIONS

CARTERET COMMUNITY COLLEGE MOREHEAD CITY, NORTH CAROLINA 28557

ABBREVIATIONS:

Ad	Area drain	E	East	ICBO	International conference
Aff	Above finished floor	Ea	Each	Id	Of building officials
Afg	Above finished grade	Ed	Each face	Id	Inside diameter
A/c	Air conditioner	El	Elevation	Ind	Include
Acoust	Acoustical	EJ	Expansion joint	Insul	Insulation
Add	Addendum	Es	Each side	Int	Interior
Adj	Adjustable/adjacent	Ev	Each way	Inv	Invert
Alt	Alternate	Elfs	Exterior insulation finish system	lps	Iron pipe size
Alum	Aluminum	Elec	Electric (al)	Jalst	Joint
Anod	Anodized	Elev	Elevator	Jt	Joint
Approx	Approximately	Emer	Emergency	Klt	Kitchen
Arch	Architectural	Encl	Enclosure (ure)	Kd	Knock down
		(e)/exist	Existing	Ko	Knockout
Bd	Board	Equip	Equipment	L	Length
Bldg	Building	Exhst	Exhaust	Li	Live load
Blk	Block	Exp	Expansion	Lt	Light weight
Bm	Bench mark/beam	Ext	Exterior	Lam	Laminated
Btm	Bottom	Fbo	Furnished by others	Lgt	Light
Bed	Bedroom	Fd	Floor drain	Lt	Lintel
Brg	Bearing	Fe	Finished end	Lav	Lavatory
Bsmnt	Basement	FF	Finished floor	Lg	Long
Btu	British thermal unit	Fhng	Flat head machine screw	LLV	Long Leg Vertical
		Fhms	Flat head wood screw	Lno	Linoleum
Cab	Cabinet	Fin	Finish (ed)	Lwb	Light weight block
Camra	Coastal area	FJ	Floor joint	Lvr	Louver
		Fm	Finish (ed)	Mo	Masonry opening
Camt	Management authority	Fndt	Foundation	Mas	Masonry
Cb	Catch basin	Ful	Full size	Matl	Material
CJ	Cast iron	Ft	Foot	Max	Maximum
Cmu	Concrete masonry unit	Fty	Fire rated gypsum board	Mech	Mechanical
Co	Cased opening	Frtw	Fire retardant treated wood	Mfr	Manufacturer
Co	Clean out	Ga	Gauge	Mch	Machine
Cy	Cubic yard	Gb	Grab bars	Mbr	Member
Cem	Cement	Gc	General contractor	Med	Medium
Cer	Ceramic tile	Ge	Galvanized iron	Mll	Million
Ch	Ceiling height	Galv	Galvanized	Mn	Minimum
Clg	Ceiling	Gwb	Gypsum wall board	Misc	Miscellaneous
Cl	Center line	Hb	Hose bibb	Mtd	Mounted
Clos	Closet	Hc	Hollow core	Mtl	Metal
Clr	Clear	Hm	Hollow metal	N	North
Col	Column	Hdw	Hardware	NC	North carolina
Conc	Concrete	Hr	Hour	Nic	Not in contract
Contr	Contractor	Hwh	Hot water heater	Nts	Not to scale
Const	Construction	Hd	Head	No/#	Number
Cont	Continuous	Hdr	Header	Nom	Nominal
Cpt	Carpet	Hdw	Hardware	Oc	On center
Ctsk	Counter sink	Horz	Horizontal	Od	Outside diameter
		Ht	Height	Oh	Over head
D	Dryer	Htg	Heating	Ohdr	Overhead door
Dh	Dryer in/line	Hvac	Heating/ventilating/ a/c	Opp	Opposite
Da	Dead load			Opng	Opening
Da	Down spout				
Dw	Dishwasher				
Del	Double				
Dem	Demolition				
Dia	Diameter				
Diag	Diagonal				
Dim	Dimension				
Dr	Door				
Dtg	Detail				
Dwg	Drawing				

East	Each	Each face	Elevation	Expansion joint	Each side	Each way	Exterior insulation finish system	Electric (al)	Elevator	Emergency	Enclosure (ure)	Existing	Equipment	Exhaust	Expansion	Exterior	Furnished by others	Floor drain	Finished end	Finished floor	Flat head machine screw	Flat head wood screw	Finish (ed)	Floor joint	Floor (ing)	Long Leg Vertical	Linoleum	Light weight block	Louver	Foundation	Full size	Foot	Fire rated gypsum board	Fire retardant treated wood	Gauge	Grab bars	General contractor	Galvanized iron	Galvanized	Gypsum wall board	Hose bibb	Hollow core	Hollow metal	Hardware	Hour	Hot water heater	Head	Header	Hardware	Horizontal	Height	Heating	Heating/ventilating/ a/c
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ICBO	International conference	Of building officials	Inside diameter	Include	Insulation	Interior	Each way	Iron pipe size	Jalst	Joint	Kitchen	Knock down	Knockout	Length	Live load	Light weight	Laminated	Light	Lintel	Lav	Long	Long Leg Vertical	Linoleum	Light weight block	Louver	Masonry opening	Masonry	Material	Maximum	Mechanical	Manufacturer	Machine	Member	Medium	Million	Minimum	Miscellaneous	Mounted	Metal	N	North	North carolina	Not in contract	Not to scale	Number	Nominal	On center	Outside diameter	Over head	Overhead door	Opposite	Opening
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PI	Property line	Power pole	Pair	Porcelain tile	Porcelain tile	Plastic laminate	Perforate (d)	Plaster	Plywood	Pounds per cubic foot	Pounds per square foot	Pounds per square inch	Point (ed)	Polyvinyl chloride	Pavement	Unfin	Unfinished	Unless noted other	Varn	Varnish	Vb	Vapor barrier	Vc	Vinyl composition tile	Vwc	Vinyl wall covering	Vert	Vertical	W	Washer	West	Water closet	Wc	Working point	Wg	Wire glass	Wf	Wide flange	Wh	Water hydrant	Wt	Wrought iron	Wc	Walk-in-closet	Wp	Water proofing	Wt	Welded wire fabric	W	With	W/o	Without	Wd	Wood	Wcscot	Wainscot	Wt	Weight
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T	Tread	T&b	Top and bottom	T&g	Tongue and groove	To	Top of	Toc	Top of curb	Tow	Top of wall	Tal	Telephone	Thk	Thick	Tlt	Toilet	Tv	Television	Temp	Tempered or temperature	Terr	Terrazzo	Thres	Threshold	Tmp	Temporary	Typ	Typical	Unfin	Unfinished	Uno	Unless noted other	Varn	Varnish	Vb	Vapor barrier	Vc	Vinyl composition tile	Vwc	Vinyl wall covering	Vert	Vertical	W	Washer	West	Water closet	Wc	Working point	Wg	Wire glass	Wf	Wide flange	Wh	Water hydrant	Wt	Wrought iron	Wc	Walk-in-closet	Wp	Water proofing	Wt	Welded wire fabric	W	With	W/o	Without	Wd	Wood	Wcscot	Wainscot	Wt	Weight
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INDEX TO DRAWINGS:

COVER & GENERAL NOTES
FLOOR PLANS / NOTES /SCHEDULES

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST APPROVED EDITION OF THE NORTH CAROLINA BUILDING CODE.
- INSTALL ALL ITEMS IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURE.
- ALL PARTITION DIMENSIONS ARE TO FINISHED FACE OF MATERIAL, UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS, CLEARANCES AND CONDITIONS IN FIELD BEFORE BEGINNING CONSTRUCTION.
- BY ACCEPTING THIS CONTRACT THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE, FAMILIARIZED HIMSELF WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND CORRELATED HIS OBSERVATIONS WITH THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
- THE ARCHITECT OR HIS DESIGNATED REPRESENTATIVE WILL BE THE INTERPRETER OF THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
- ANY CHANGES OR WORK NOT INCLUDED IN THESE CONTRACT DOCUMENTS SHALL BE APPROVED BY THE OWNER PRIOR TO ADDITIONAL WORK BEING PERFORMED.
- CONTRACTOR SHALL MAINTAIN CONSTRUCTION AREA TO CONFORM TO ALL APPLICABLE LIFE SAFETY CODES.
- ALTERATION TO THE EXISTING FIRE ALARM AND EMERGENCY COMMUNICATION SYSTEM SHALL BE INCLUDED, AND SCHEDULED WITH OWNER PRIOR TO WORK.
- COORDINATION OF MATERIALS, INSTALLATION REQUIREMENTS, MEANS AND METHODS, STRUCTURAL, MECHANICAL AND ELECTRICAL SYSTEMS, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO KEEP MATERIALS DRY AND FREE FROM MOLD AND MILDEW. REMOVE AND REPLACE ANY MATERIALS FOUND TO HAVE MOLD OR MILDEW.
- CONTRACTOR SHALL CUT AND PATCH EXISTING CONSTRUCTION AS REQUIRED FOR THE WORK. ALL PATCH REPAIRS SHALL MATCH EXISTING ADJACENT SURFACE MATERIALS AND FINISHES AND SHALL BE SEAMLESS BETWEEN NEW AND EXISTING. PATCHED WALLS SHALL BE PAINTED IN THEIR ENTIRETY.
- CONTRACTOR SHALL NOTIFY OWNER IN WRITING AND SCHEDULE WORK MIN 48 HOURS PRIOR TO COMMENCING WORK.

GENERAL SPECIAL NOTES

- THE BUILDING AND SURROUNDING SPACES WILL REMAIN IN USE DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER OF UPCOMING DISRUPTIVE OR EXCESSIVELY NOISY ACTIVITIES THAT MAY DISTURB SURROUNDING SPACES.
- THE CONTRACTOR SHALL REMOVE DEBRIS AND TRASH DAILY AND SHALL MAINTAIN THE CONSTRUCTION SITE IN A CLEAN AND SAFE CONDITION.
- THE CONTRACTOR SHALL PROVIDE THEIR OWN RESTROOMS FACILITIES ON SITE.
- THE CONTRACTOR SHALL ENFORCE STRICT DISCIPLINE AND GOOD ORDER AMONG THE CONTRACTOR'S EMPLOYEES AND OTHER PERSONS CARRYING OUT THE CONTRACT WORK. THE CONTRACTOR SHALL NOT PERMIT EMPLOYMENT OF UNFIT PERSONS OR PERSONS NOT SKILLED IN TASKS ASSIGNED TO THEM.
- TOBACCO PRODUCTS AND ANY FORM OF SMOKING, ALCOHOL, DRUGS, ETC. SHALL NOT BE ALLOWED ON COLLEGE PROPERTY.

PROJECT DESCRIPTION

SCOPE OF WORK

THE INTENT OF THE PROJECT IS:

- RENOVATION OF EXISTING FIRST FLOOR TOILET ROOMS TO BECOME HANDICAP ACCESSIBLE TOILET ROOMS TO EXTENT FEASIBLE ON THIS LEVEL.
- DEMOLITION, ALTERATION, WALLS, CEILINGS, LIGHT FIXTURES, PLUMBING FIXTURES, HVAC, ALARM SYSTEM AND OTHER ITEMS OF WORK AS INDICATED ON THE DRAWINGS.

BID NOTES

- CONSTRUCTION BID SHALL INCLUDE ALL MATERIALS, LABOR, PARTS, PIECES, PERMITS, ACCESSORIES AND OTHER ITEMS REQUIRED TO PROVIDE COMPLETE AND FINISHED WORK.
- BASE BID SHALL INCLUDE ALL WORK REQUIRED TO PROVIDE COMPLETE AND FINISHED WORK, INCLUDING INCIDENTAL WORK NOT SHOWN BUT REQUIRED FOR A PROPERLY FINISHED PROJECT.

- BIDS SHALL INCLUDE THE FOLLOWING INFORMATION:

- LUMP SUM BASE BID AMOUNT.
- ESTIMATED TIME FOR CONSTRUCTION.
- ALLOWANCES: THE FOLLOWING AMOUNTS SHALL BE INCLUDED IN THE BID:

- CONCEALED CONDITIONS - \$350,000

NOTE: INSTALLATION OF ALLOWANCE ITEMS SHALL BE INCLUDED IN BASE BID AND ARE NOT PART OF THE ALLOWANCE UNLESS OTHERWISE NOTED. INSTALLATION SHALL INCLUDE INSTALLATION OF ALL COMPONENTS AND PREPARATION OF SUBSTRATE.

- BID ALTERNATE NO. 1

- PROVIDE AN ALTERNATE COST FOR INSTALLING CONCEALED WALL HUNG TOILET CARRIERS (TO BE APPROVED BY OWNER PRIOR TO PURCHASE)

- INSURANCE:

- BUILDERS RISK INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR.
- GENERAL CONTRACTOR SHALL PROVIDE VEHICULAR LIABILITY, GENERAL LIABILITY AND WORKMAN'S COMPENSATION AND SHALL PROVIDE PROOF OF COVERAGE AND DOLLAR LIMITS OF EACH POLICY PRIOR TO EXECUTION OF CONSTRUCTION CONTRACT.

- MINIMUM COVERAGE SHALL BE AS FOLLOWS:
PUBLIC LIABILITY: \$1,000,000 W/ \$2,000,000 POLICY LIMIT.
AUTOMOBILE LIABILITY: \$100,000
WORKMAN'S COMPENSATION: AS PER STATE LAW
BUILDER'S RISK: COST OF CONSTRUCTION

PROJECT MANAGEMENT

- A PRE-CONSTRUCTION MEETING WILL BE HELD PRIOR TO BEGINNING CONSTRUCTION TO COORDINATE ACTIVITIES, SCHEDULE, WORK HOURS, SAFETY, DELIVERIES, STAGING, PARKING, ETC. AND CONTRACTOR WILL PROVIDE A DRAFT/PRELIMINARY SCHEDULE OF VALUES AND PROJECT SCHEDULE.
- PROGRESS REVIEW MEETINGS WILL BE HELD MONTHLY AS DIRECTED BY THE OWNER.
- APPLICATIONS FOR PAYMENT SHALL BE SUBMITTED MONTHLY ON AIA DOCUMENT G102 WITH CONTINUATION SHEETS. A RETAINAGE OF 5% SHALL BE WITHHELD UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT AT WHICH TIME AN AMOUNT EQUAL TO OR GREATER THAN THE COST OF THE REMAINING PUNCH LIST ITEMS SHALL BE WITHHELD UNTIL FINAL COMPLETION.
- A SCHEDULE OF VALUES AND PROJECT SCHEDULE SHALL BE SUBMITTED AND APPROVED PRIOR TO SUBMITTING THE FIRST APPLICATION FOR PAYMENT.
- NO PAYMENT WILL BE MADE FOR CHANGES IN THE WORK UNLESS SUCH COSTS ARE APPROVED AND AUTHORIZED IN WRITING IN ADVANCE.
- SHOP DRAWINGS AND SUBMITTALS SHALL BE PROVIDED FOR ALL ITEMS TO BE PURCHASED OR FABRICATED. SUBMIT THE FOLLOWING FOR APPROVAL PRIOR TO PURCHASE:
 - LIGHT FIXTURES AND WIRING DEVICES
 - ALARM SYSTEMS
 - PLUMBING AND TOILET FIXTURES AND FAUCET SETS
 - HVAC GRILLES AND DIFFUSERS
 - ACOUSTICAL CEILING GRID AND TILE
 - TOILET ACCESSORIES
 - TOILET AND URINAL PARTITIONS
 - MIRRORS
 - CAULKING AND SEALANT.SUBMIT THE FOLLOWING FOR COLOR SELECTION:
 - PAINT COLORS (DOORS, WALLS, AND TRIM) - SHERWIN WILLIAMS.
 - PHENOLIC SINKS
 - TOILET AND URINAL PARTITIONS
 - CERAMIC TILES & GROUT.
 - CAULKING AND SEALANT.THE ABOVE ARE MINIMUM REQUIREMENTS. PROVIDE ADDITIONAL SUBMITTALS AS NEEDED FOR PROPER CO-ORDINATION AND APPROVAL.

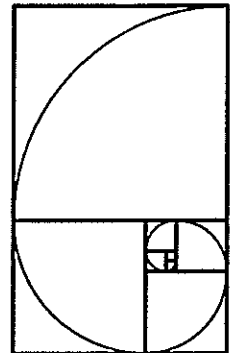
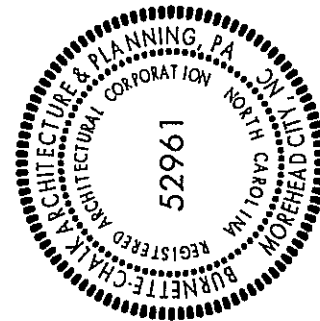
- THE CONTRACTOR SHALL MAINTAIN A RECORD SET OF DRAWINGS ON THE JOBSITE AND SHALL NEATLY MARK CHANGES OF CRITICAL INFORMATION REGARDING CONSTRUCTION. THE RECORD DRAWINGS SHALL BE DELIVERED TO THE OWNER AT COMPLETION OF THE WORK.
- AT COMPLETION OF THE WORK AND PRIOR TO PAYMENT OF RETAINAGE THE CONTRACTOR SHALL PROVIDE THE FOLLOWING:
 - CERTIFICATE OF OCCUPANCY
 - AFFIDAVIT OF PAYMENT OF DEBTS AND CLAIMS
 - AFFIDAVIT OF RELEASE OF LIENS
 - NOTEBOOK CONTAINING THE FOLLOWING:
 - NAME, ADDRESS, PHONE NO. OF GENERAL CONTRACTOR
 - NAME, ADDRESS, PHONE NO. OF SUBCONTRACTOR AND MAJOR SUPPLIERS
 - MATERIAL COLOR SELECTIONS
 - WARRANTIES
 - OPERATION MANUALS, HANDS ON TRAINING OF OWNERS STAFF AND PRODUCT CUTSHEETS
- AIA DOCUMENT A201-2007 GENERAL CONDITIONS OF THE CONTRACT IS APPLICABLE AND IS MADE A PART OF THE CONTRACT AND PROJECT REQUIREMENTS.

MATERIAL & INSTALLATION NOTES

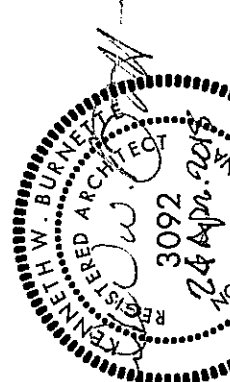
- GYPSUM WALL BOARD FINISHED TO FINISH LEVEL 4. SET FLUSH WITH EXISTING WALL/CEILING SURFACES WITH SEAMLESS TRANSITION.
- 5/8" TYPE "X" FIRE RESISTANT RATED GWB - TOILET ROOMS WALLS TO BE MOISTURE AND MOLD RESISTANT.
- CEILING GRID - 1 1/8" ARMSTRONG PRELUDE XL 2'x2' GALV METAL (WHITE)
- CEILING TILE - 1" ARMSTRONG CALLA (WHITE).
- FLOOR TILE - 10"x10" FLORIDA TILE SLATE OR APPROVED EQUAL. INSTALL BY THINSET METHOD OVER EXISTING FLOOR TILE. PROVIDE HANDICAP ACCESSIBLE VINYL TRANSITION AT DOORWAYS. SUBSTRATE PREPARATION AS RECOMMENDED BY THE MANUFACTURER AND TILE INSTALLER.
- WALL TILE - 4" x 4" (TOP 6'-6" AFF) FLORIDA TILE OR APPROVED EQUAL. INSTALL USING THINSET METHOD. SUBSTRATE PREPARATION AS RECOMMENDED BY THE MANUFACTURER BY TILE INSTALLER.
- 4"x8" ACCENT WALL TILE FLORIDA TILE OR APPROVED EQUAL INSTALLED 4" WIDE AROUND ROOM.
- WALL AND FLOOR GROUT TEC 961 SANDSTONE BEIGE.
- PAINT - UNLESS OTHERWISE NOTED, INTERIOR PAINT SHALL BE SHERWIN WILLIAMS BEST GRADE, ONE PRIMER COAT AND TWO FINISH COATS. SEMI-GLOSS ON WALLS, AND SEMI-GLOSS ON TRIM, WHERE ANY PART OF A ROOM OR SPACE REQUIRES PAINTING, THE ENTIRE ROOM, INCLUDING EXISTING SURFACES SHALL BE PAINTED TO MATCH OWNERS EXISTING COLOR SCHEME. THIS APPLIES TO ALL GYPSUM WALL BOARD.
- PAINT SCHEDULE FOR BIDDING:
 - (PT-1) BASE COLOR SHALL BE FROM MANUFACTURES FULL LINE OF PREMIUM COLORS FOR WALL SURFACES AND TRIM TO MATCH BLDG STANDARDS.
 - PAINTED WALLS IN BATHROOMS SHALL BE SEMI-GLOSS ENAMEL, FROCK. MANUFACTURES FULL LINE OF PREMIUM COLORS FOR WALL SURFACES AND TRIM, W/ COLOR TO BE SELECTED BY OWNER.
- CAULK - NP-1 SONNEBORN. MATCH WALL COLOR IF VISIBLE, MOLD RESISTANT.
- IF ENCOUNTERED - FIRE CAULK AND SEALANT - HILTI OR APPROVED EQUAL, PER UL DESIGN REQUIREMENT.
- VERIFY ALL SELECTIONS WITH OWNER PRIOR TO PURCHASE CEILING TILE, WALL AND FLOOR TILE, PAINT, ETC.

APPENDIX "B" NOTES:

FIRST FLOOR:
1. OCCUPANCY CLASSIFICATION - B (EDUCATION ABOVE K-12)
2. OCCUPANT COUNT - 16 (100 SF/OCCUPANT)
3. CONSTRUCTION (TYPE II-B) EXISTING
4. APPLICABLE CODE: NORTH CAROLINA EXISTING BUILDING CODE: LEVEL 2 - ALTERATIONS.



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CONSULTANTS

REVISIONS

SMITH BUILDING - FIRST FLOOR
RESTROOMS RENOVATIONS
CARTERET COMMUNITY COLLEGE
MOREHEAD CITY, NC 28557
COVER & GENERAL NOTES

PROJECT # 17027
DRAWN: PBGII
CHECKED: KWB
APPROVED: KWB
PHASE: SD
DATE: 23 APR 2018

TG101

PLUMBING NOTES:

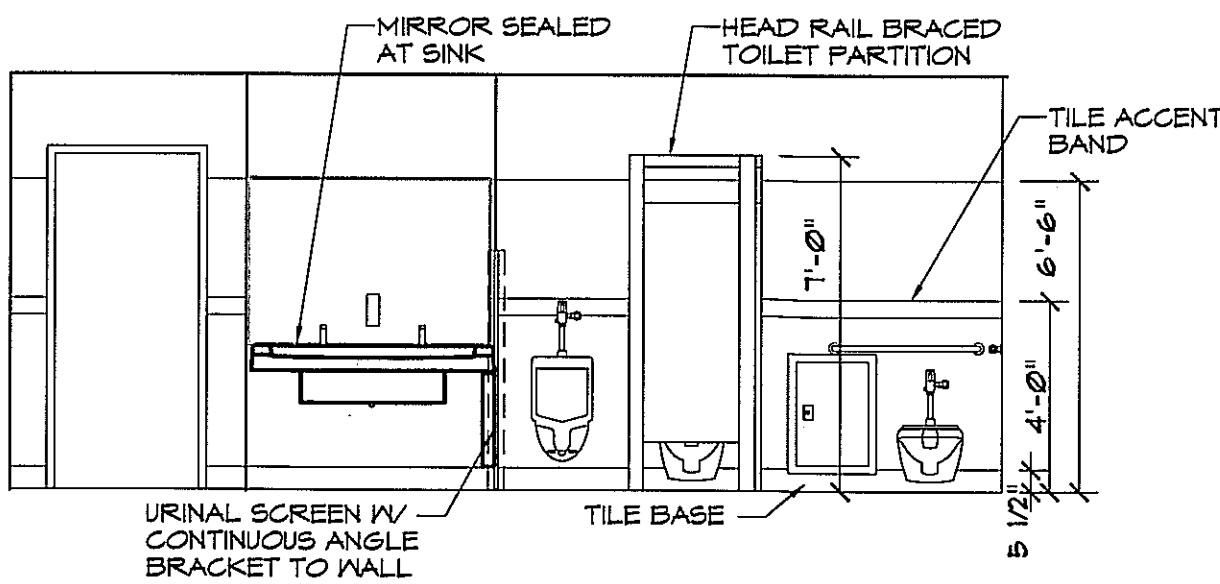
- CONSTRUCTION BID SHALL INCLUDE ALL MATERIALS, LABOR, PARTS, PIECES, PERMITS, ACCESSORIES AND OTHER ITEMS REQUIRED TO PROVIDE COMPLETE AND FINISHED WORK.
- PROJECT REQUIRES RELOCATION OF PLUMBING FIXTURES. CONTRACTOR SHALL OPEN WALLS AS REQUIRED FOR ACCESS TO PLUMBING.
- PLUMBING CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS TO PIPING, FITTINGS, ETC AS REQUIRED FOR RENOVATIONS IN ACCORDANCE WITH N.C.BUILDING CODE.
- PROVIDE ESCUTCHEON PLATES, TRIM, FASTENERS, ETC. AS REQUIRED FOR A COMPLETE AND FINISHED JOB.
- PLUMBING CONTRACTOR SHALL INVESTIGATE THE CONDITION AND USABILITY OF THE EXISTING WALL HUNG TOILET CARRIERS (CONCEALED) AND ADVISE THE OWNER OF THEIR ACCEPTABILITY FOR REUSE WITH THE NEW WALL HUNG TOILETS AND URINAL..
- PROVIDE AN ALTERNATE COST FOR INSTALLING CONCEALED WALL HUNG TOILET CARRIERS (TO BE APPROVED BY OWNER PRIOR TO PURCHASE)
SEE BID ALTERNATE NO. 1, SHEET TG101.
- PROVIDE FINISHED PVC PIPE INSULATION FOR ALL EXPOSED PIPING UNDER NEW SINKS.
- RAISE EXISTING FLOOR DRAINS FOR NEW FLOOR TILE.

MECHANICAL NOTES:

- PROJECT REQUIRES REPLACEMENT OF MECHANICAL HVAC SUPPLY DIFFUSERS AND RETURN EXHAUST GRILLS.
- PROVIDE AND INSTALL DIFFUSERS AND GRILLS TO MATCH EXISTING FIXTURES (TO BE APPROVED BY OWNER PRIOR TO PURCHASE).

ELECTRICAL NOTES:

- PROJECT REQUIRES REPLACEMENT OF ELECTRICAL LIGHTING FIXTURES AND SWITCHES. CONTRACTOR SHALL OPEN WALLS AS REQUIRED FOR ACCESS.
- EXISTING FIRE ALARM AND COMMUNICATION FIXTURES SHALL BE REUSED. REMOVE AND REINSTALL AS MAY BE REQUIRED FOR RENOVATION OPERATIONS. VERIFY THAT FIXTURES FUNCTION PROPERLY AS COORDINATED WITH THE OWNER.
- ELECTRICAL CONTRACTOR SHALL MAKE ALL NECESSARY MODIFICATIONS TO EXISTING ELECTRICAL, AS REQUIRED FOR RENOVATIONS IN ACCORDANCE WITH N. C. BUILDING CODE AND NATIONAL ELECTRIC CODE.
- PROVIDE AND INSTALL LIGHT FIXTURES TO MATCH EXISTING 2'x4' LAY-IN LIGHT FIXTURES (TO BE APPROVED BY OWNER PRIOR TO PURCHASE).
- PROVIDE AND INSTALL PROXIMITY LIGHT SWITCHES TO REPLACE EXISTING LIGHT SWITCHES (TO BE APPROVED BY OWNER PRIOR TO PURCHASE).



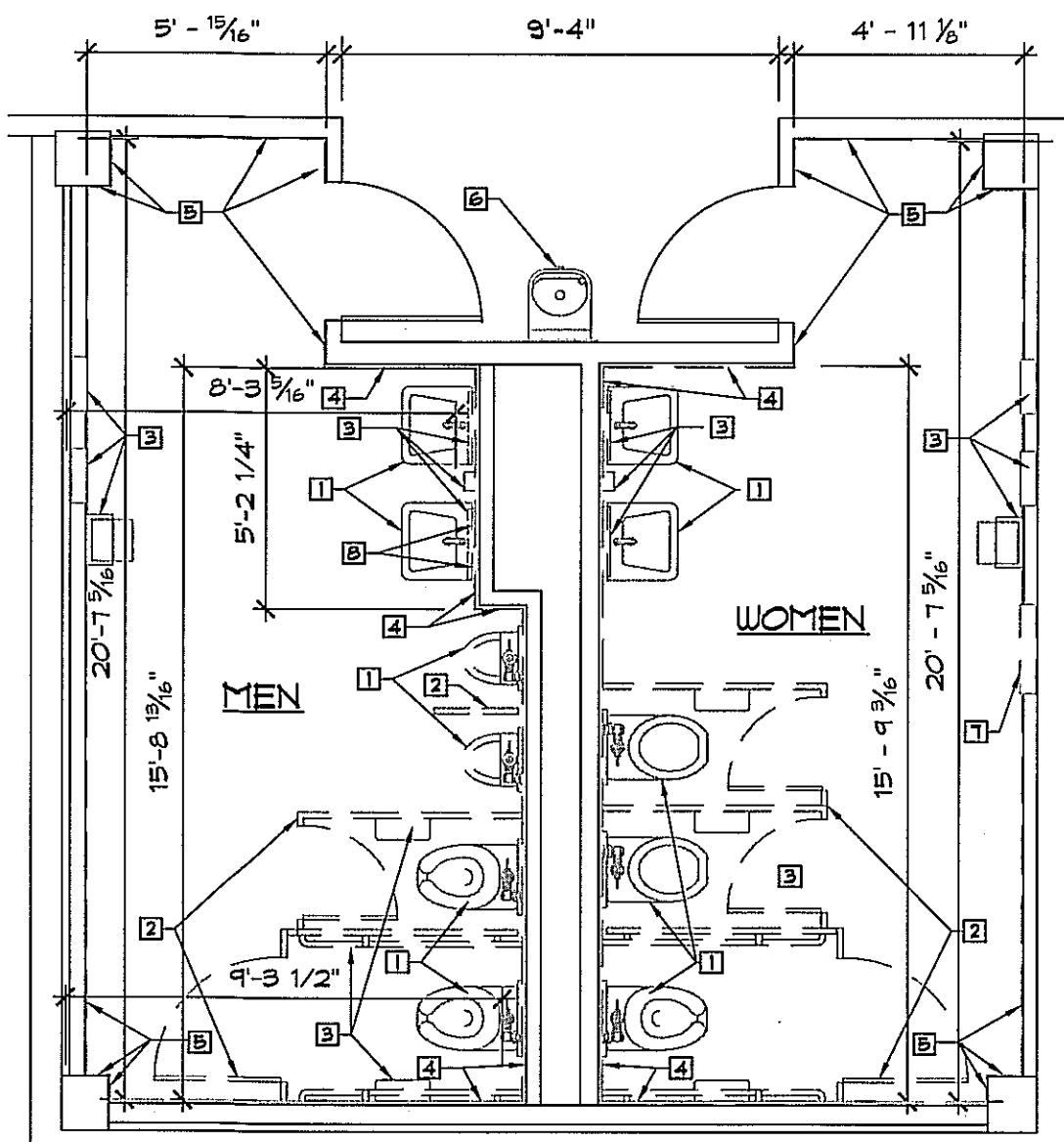
4A
A101
INTERIOR ELEVATION - TOILET ROOM
SCALE: 1/4"=1'-0"

DEMOLITION NOTES:

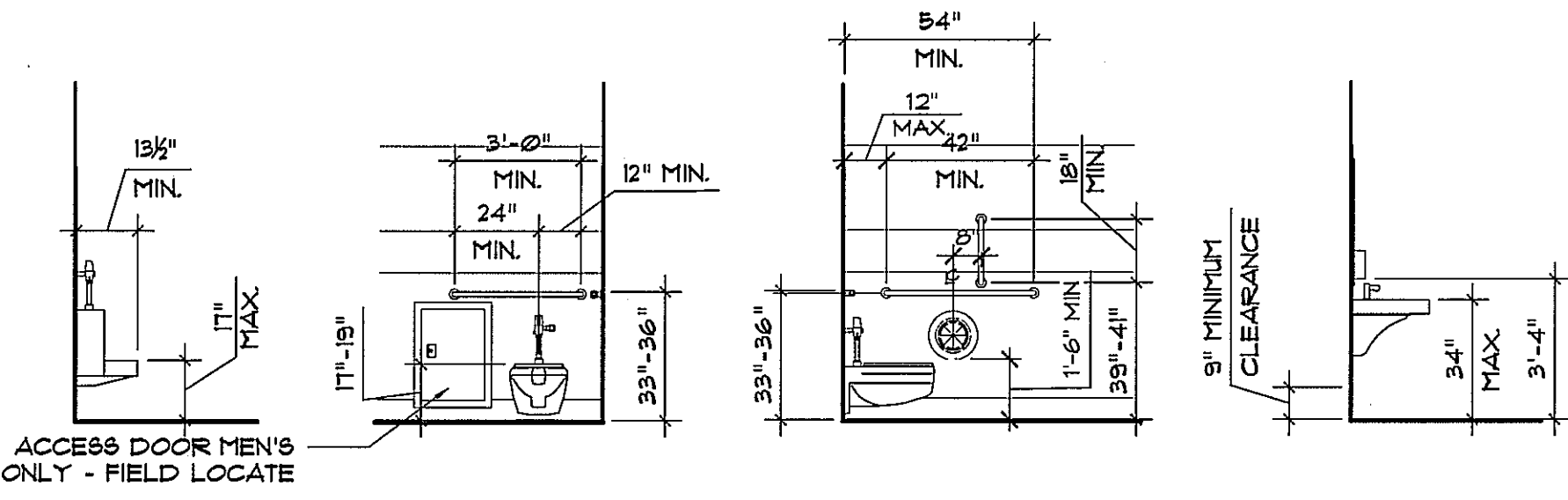
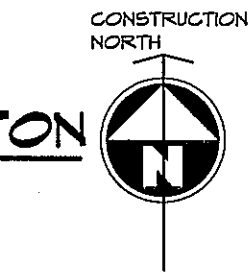
- REMOVE AND REPLACE EXISTING TOILET FIXTURES, URINALS, TOILET PARTITIONS, GRAB BARS, MIRRORS AND TOILET ACCESSORIES.
- REMOVE AND REPLACE ALL EXISTING CERAMIC TILE FINISHES AT WALLS AND BASES.
- WHERE WALLS ARE ENTERED INTO, REMOVE OR RELOCATE ELECTRICAL WIRING, PLATES, SWITCHES, ETC. AS REQUIRED
- WHERE PLUMBING IS REMOVED AND NOT REPLACED TERMINATE AND CAP ALL LINES AS REQUIRED BY CODE. ALL TERMINATIONS SHALL BE CONCEALED IN WALLS OR UNDER FLOOR PATCH TO MATCH EXISTING CONSTRUCTION AND FINISH. PROVIDE ACCESS PANELS AS REQUIRED BY CODE.
- REPAIR ALL MATERIALS AND FINISHES TO MATCH EXISTING WHERE DAMAGED OR DISTURBED BY CONSTRUCTION/DEMOLITION.
- DISPOSE OF ALL REMOVED AND DISCARDED MATERIALS LEGALLY AND LAWFULLY OFFSITE.
- CEASE WORK IF INDICATED DEMOLITION APPEARS TO NEGATIVELY IMPACT EXISTING STRUCTURAL SYSTEMS OR COMPONENTS. NOTIFY OWNER AND ARCHITECT IMMEDIATELY.

DEMOLITION LEGEND:

- EXISTING WALL & ITEMS TO REMAIN
- EXISTING WALL & ITEMS TO BE REMOVED
- REMOVE & DISCARD PLUMBING FIXTURES.
 - REMOVE & DISCARD EXISTING TOILET PARTITION & DOOR.
 - REMOVE & DISCARD TOILET ACCESSORIES.
 - REMOVE & DISCARD EXISTING CERAMIC WALL TILE.
 - REMOVE & DISCARD CERAMIC TILE BASE
 - REMOVE & DISCARD DRINKING FOUNTAIN.
 - REMOVE & REUSE SANITARY NAPKIN DISPENSER (STORE AS DIRECTED)
 - REMOVE & CAP EXIST UTILITY HOSE BIBB UNDER SINK, TO BE VERIFIED W/ OWNER.



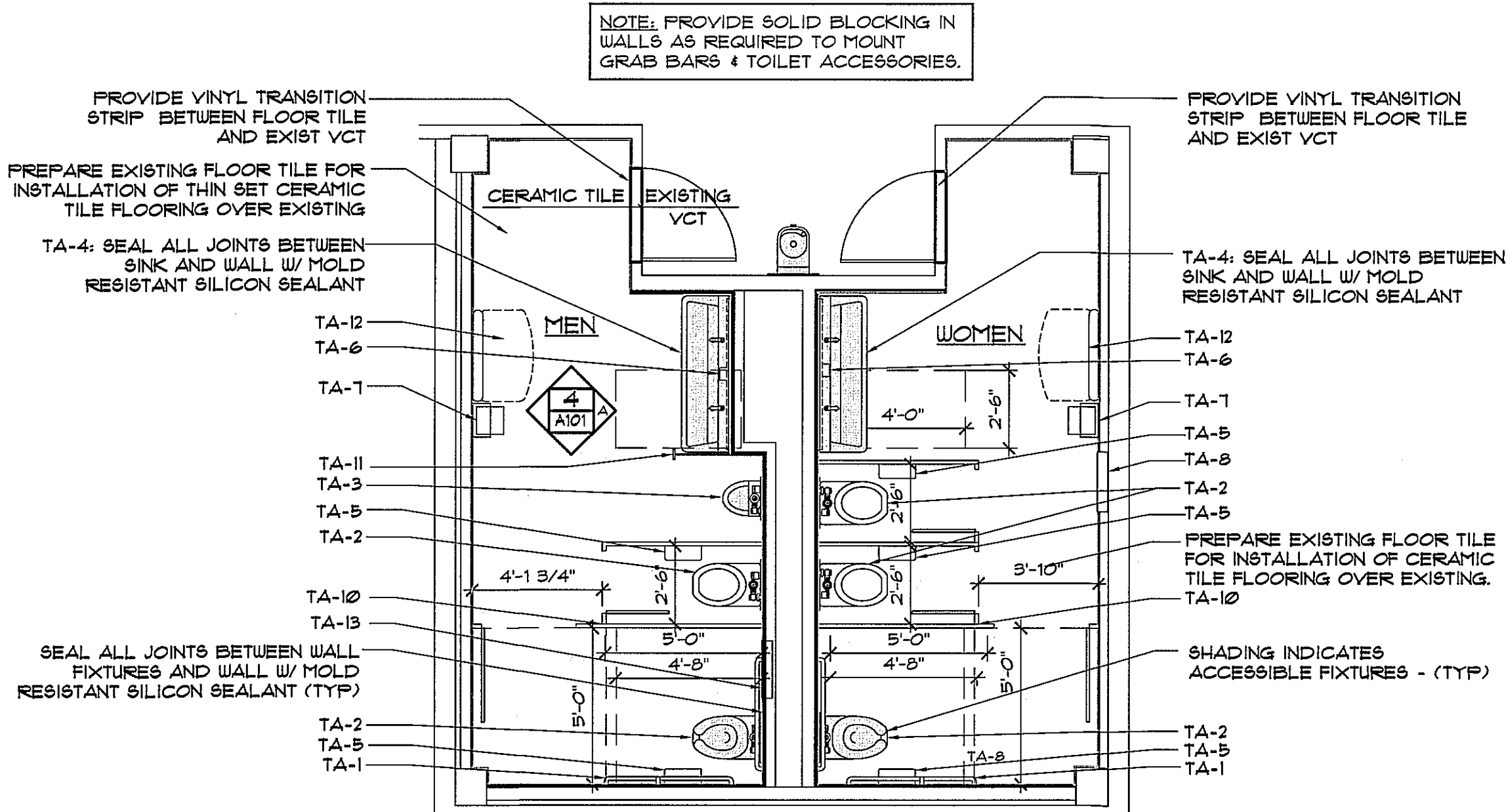
1
A101
FLOOR PLANS DEMOLITION
SCALE: 1/4"=1'-0"



3
A101
TYPICAL ACCESSIBLE PLUMBING FIXTURE & TOILET ACCESSORIES ELEVATIONS
SCALE: 1/4"=1'-0"

PLUMBING FIXTURES & TOILET ACCESSORIES SCHEDULE					
MARK	DESCRIPTION	MANUFACTURER	MODEL NUMBER	SIZE	REMARKS
TA-1	GRAB BARS	BRADLEY	832 SERIES (HD)	AS PER DRAWINGS	1-1/4" O.C. TYPE 304 STAINLESS STEEL WITH PEENED GRIP W/ CONCEALED MOUNTING
TA-2	WALL MOUNTED TOILET W/ PROXIMITY FLUSH VALVE AND SEAT	AMERICAN STANDARD	3351516 (WHITE) W/ 5301100 (WHITE HD)	(ADA PER DWGS)	
TA-3	WALL MOUNTED URINAL W/ PROXIMITY FLUSH VALVE	AMERICAN STANDARD	653002525 (WHITE)	(ADA PER DWGS)	
TA-4	WALL MOUNTED SINK W/ PROXIMITY FAUCETS	BRADLEY	LYDV2 W/ THERMAL MIXING VALVE (ASSE 1010 LISTED), FAUCET ASSEMBLY (2) DELTA 6607000 WITH (PT) RP32586 CHROME	60"	INSTALL WATER SUPPLY PIPING WITH STOP ON EA SUPPLY, W/ TRAP AND WASTE PIPING EA FAUCET AND ESCUTCHEONS & EXPOSED PIPE. PROVIDE BACKING FOR 350 LB LOAD.
TA-5	TOILET PAPER HOLDER	BAY WEST - REVOLUTION BLACK - 3 ROLL	PROVIDED BY OWNER		INSTALLED BY CONTRACTOR
TA-6	SOAP DISPENSER	CARO-SAN MECHANICAL MOUNTED ON MIRROR	PROVIDED BY OWNER		INSTALLED BY CONTRACTOR
TA-7	PAPER TOWEL DISPENSER	TORK MATIC 5510282	PROVIDED BY OWNER		INSTALLED BY CONTRACTOR
TA-8	SANITARY NAPKIN DISPENSER	REUSE EXISTING			
TA-9	MIRROR	BRADLEY	181-6042 W/ CHANNEL FRAME		
TA-10	TOILET PARTITIONS (OVERHEAD BRACED)	BRADLEY	SERIES 4000 SENTINEL NO - 916 BRADYMAR HPDE	AS PER DRAWINGS	PHENOLIC CORE, INTEGRAL HINGE, ALUM HARDWARE AND CONTINUOUS ALUM
TA-11	URINAL SCREEN	BRADLEY	SERIES 41 FLOOR MOUNTED	AS PER DRAWINGS	PHENOLIC CORE, AND CONTINUOUS ALUM WALL EAR BRACKET.
TA-12	BABY CHANGING STATION	KOALA KARE (BOBRICK)	KB100-00 CREAM	36"	HORIZONTAL MOUNTED - PROVIDE BACKING FOR 360 LB LOAD
TA-13	WALL ACCESS DOOR	MILCOR	3215-023-9	22"x36"	KEYED ACCESS

- NOTES:
- PROVIDE SOLID BLOCKING IN WALLS TO RECEIVE ACCESSORIES.
 - SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO PURCHASE.
 - PROVIDE COLOR SAMPLE FOR OWNER SELECTION UNLESS COLOR IS INDICATED.

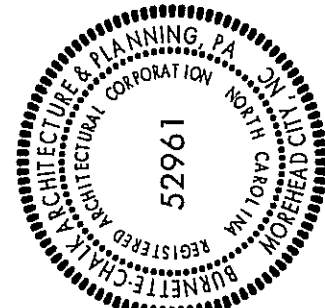


2
A101
FLOOR PLAN
SCALE: 1/4"=1'-0"

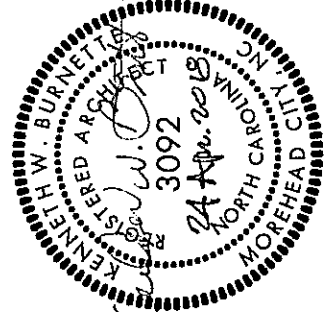


RENOVATION NOTES:

- PROVIDE AND INSTALL CEILING GRID AND TILE, POINT OF BEGINNING CENTER OF ROOM.
- PROVIDE & INSTALL HVAC SUPPLY DIFFUSERS AND EXHAUST GRILL, AND REINSTALLED ALARM SYSTEMS FIXTURES.
- PROVIDE AND INSTALL 4x4 WALL TILE ON ALL WALLS TO 6'-6" AFF. WITH 5-1/2" BASE AND 4x8 ACCENT BAND AS INDICATED.
- EXISTING FLOOR TILE TO BE CLEANED AND PREPARED FOR NEW FLOOR TILE, INSTALL ON 45 DEG. WITH CENTER OF ROOM AS BEGINNING POINT, TO BE VERIFIED WITH OWNER PRIOR TO BEGINNING TO BE VERIFIED WITH OWNER.
- ALL TOILET FIXTURES AND SINKS TO BE PROVIDED WITH HANDS FREE (PROXIMITY ACTIVATION) OPERATIONS TO MATCH COLLEGE STANDARDS.
- ALL TOILET FIXTURES, TOILET PARTITIONS & DOORS AND TOILET ACCESSORIES SHALL MEET THE REQUIREMENTS OF THE NCBC BUILDING CODE AND THE ADA GUIDELINES.
- PROVIDE AND INSTALL WALL ACCESS PANEL INTO PLUMBING CHASE TO BE FIELD LOCATED, AS APPROVED BY OWNER
- CAP AND CONCEAL ABANDONED WASTE AND WATER SUPPLY LINES, ETC. - TYPICAL.



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CONSULTANTS

REVISIONS

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RESTROOMS RENOVATIONS
CARTERET COMMUNITY COLLEGE
MOREHEAD CITY, NC 28557

FLOOR PLANS, ELEVATIONS & NOTES

PROJECT # 17027
DRAWN : PBGH
CHECKED : KWB
APPROVED : KWB
PHASE : SD
DATE : 23 APR 2018

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